



ROOF REPLACEMENT

A Homeowner's Guide

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Burning Questions

Your home is your sanctuary and maybe it's due for repairs. Venturing off to hire the right contractor can be a terrifying process, especially when that venture is *into the unknown*. It's human of you to **ask as many questions as you need to**. A roof replacement is one of the most costly renovations you'll ever make to your home. This guide was created as the answer to many questions you may be (or at least *should* be) asking.

Questions like:

- How much is this going to cost me?
- How do I choose the right contractor to do the best work?
- What are ALL of my roof system options?
- I have so many questions... Yet I'm not even sure *what* to ask?

When Does a Roof System Reach The End of its Lifecycle?

The Lifecycle or Lifespan of your roofing system depends on a few factors: quality of the material, quality of the install, and (most importantly) the maintenance habits of its owner. If your roof looks like it's decaying, it likely has reached the end of its lifespan.

One thing to consider heavily, is in the previous maintenance of your roof. In order to achieve maximum lifespan, you must care for your roof on an annual basis. We'll cover more of this ahead.

How Long Can They Last... But in Southern Arizona?

10-15 YEARS

- Tile Roof w/ Felt Underlayment
- Two-Ply Built-Up Roof (w/ annual maintenance)

15-20 YEARS

- 3-Tab Composition Shingles (discontinued)
- Mod-Bit Granulated Cap Sheet
- Spray Polyurethane Foam Roof (w/ Annual Maintenance)
- Exposed Fastener Metal Roof

20-30 YEARS

- Architectural Shingles
- Tile Roof w/ Mod-Bit Underlayment
- Built-Up Roof (w/ Annual Maintenance)
- TPO Roof

35+ YEARS

- Standing Seam Metal Roof
- Tile Roof w/ Ultra Premium SA Underlayment
- Thicker Mil. TPO Roof
- Ultra Premium Architectural Shingles



Mod-Bit Granulated Roof (uncoated)



3-Tab Composition Shingles



WAS THIS ROOF REPLACED?



 (4) Active Leaks
Poor maintenance
history

YES



NO



When Do I Need a New Roof?

Knowing whether or not you need a new roof does not start with a roof leak. Waiting for your roof to start leaking doesn't make it last any longer, this only increases your chances of mold growing. On the other token, some homeowners are skeptical because maybe they've met dishonest or inexperienced contractors. If your roof (truly) needs to be replaced, that in itself is a major task; you don't want to need to worry about whether or not you can trust the contractor to do the work correctly.

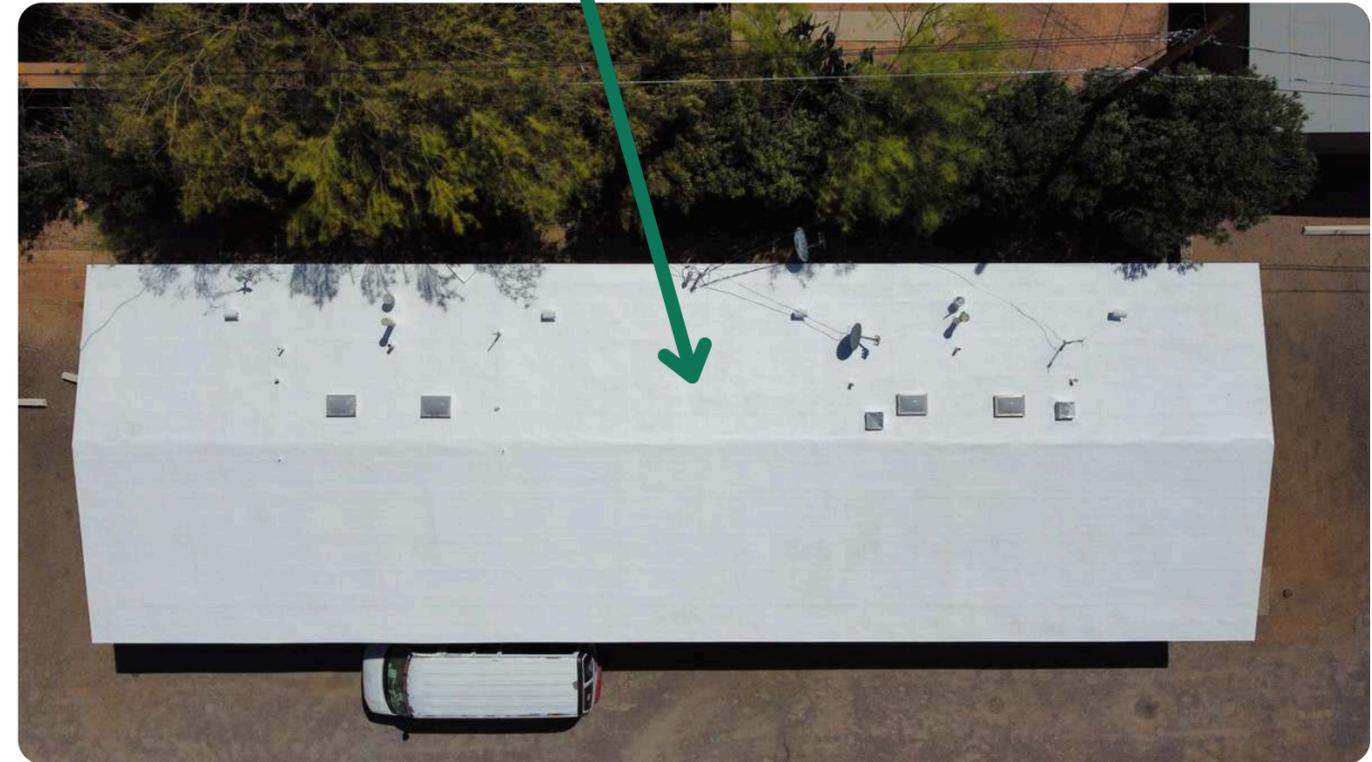
In this section, we will cover some things to look for when it comes time to replacing your roof.

At first glance, do you think you need a new roof? Many roofing contractors lack the hands-on experience. This means you may get a misfire on the roof diagnostic.

Here's a closer look at the roof from the previous slide. This is a **Built Up Roof w/ Elastomeric Coating**.

NO

**THIS ROOF WASN'T REPLACED.
IT WAS RESTORED.**



This roof is a Built-Up Roof over a 2/12 slope. The existing roof system was under 20 years old. There were a few active leaks, but no structural issues were present. Once the identified leaks were repaired, flashed, and sealed, this roof was fully restored using a 100% Acrylic Roof Coating and Non-Woven Reinforced Fabric.

This process is called "Restoration". Some contractors in Tucson call this a Re-Coat or a Coating.

Not Even The Toughest Roofs Can Survive a Bad Storm.

If a recent storm has affected your area, it is likely that your roof system may have also been affected. Not all storm damage is visible from curbside. For instance: impacts from hail hits and broken seals due to strong winds need to be inspected up-close.

In many cases, your insurance provider will float the bill to have your roof replaced. You'll just need to worry about the deductible on your policy. In Arizona, Wind & Hail do cause irreversable damage to roof systems. You don't need to wait for a tree to fall over for you to start a recoverable claim.

This entire process can be a lot for a homeowner. For more information, please download our Insurance Restoration Guide [Here](#).

Beware of the Traveling Roofers

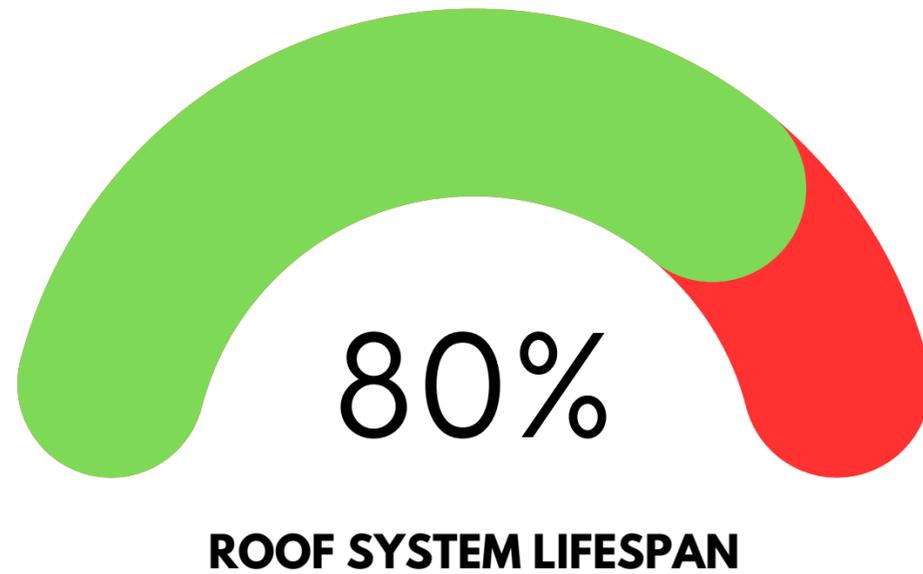
Most of the time, roofing companies that specialize in knocking on doors, know about your storm damages (before you do). If there's a handful of different roofing companies knocking on doors in your neighborhood, it is likely that your zip code was impacted by a recent storm.

It's not a good idea to sign a contract with a roofer that isn't local to your market. Many times, out-of-town roofing contractors will *storm chase* and *pop-up* in your city for a few days at a time. Hiring someone who isn't local could cost you money and heartache.



At Which Point Should I Replace the Roof?

So we mentioned you shouldn't wait for your roof to start leaking before taking the measures to get it replaced. A reputable contractor will advise you to look into replacing when your roof has reached 80% lifespan.



So, for instance if your new Architectural Shingles have *up-to 30 Year Lifespan*, then you should look into replacing around year 24. This is because the Arizona Dry Heat tends to accelerate the maturity of your roof system. Once we cross into the latter 20% of the roof's life, this is when the leaks start and damage costs only go up from there.



Improper Installation = Roof Failure

It is very critical that you hire a reputable contractor to install the new roof. Work that is not properly installed will not only last, but it's not warranted, and (in some cases) your insurance company can consider dropping you. They say that good work isn't cheap, but cheap work isn't good. When it comes to roofing... This is 100% True.

Some Things to Consider When Hiring A Contractor:

- Licensed, Bonded, Insured?
- Do they have a website?
- Where can you see photos of their previous work?
- Are they Local? (Ask for the office address)
- Are Brands of Materials being disclosed?
- How comprehensive is the quote?
- Did they offer more than (1) Option?
- How Accessible is the owner?

Remember, it'll cost you DOUBLE, if you choose the wrong contractor. Double the money & double the effort.



Takeaways From This Section

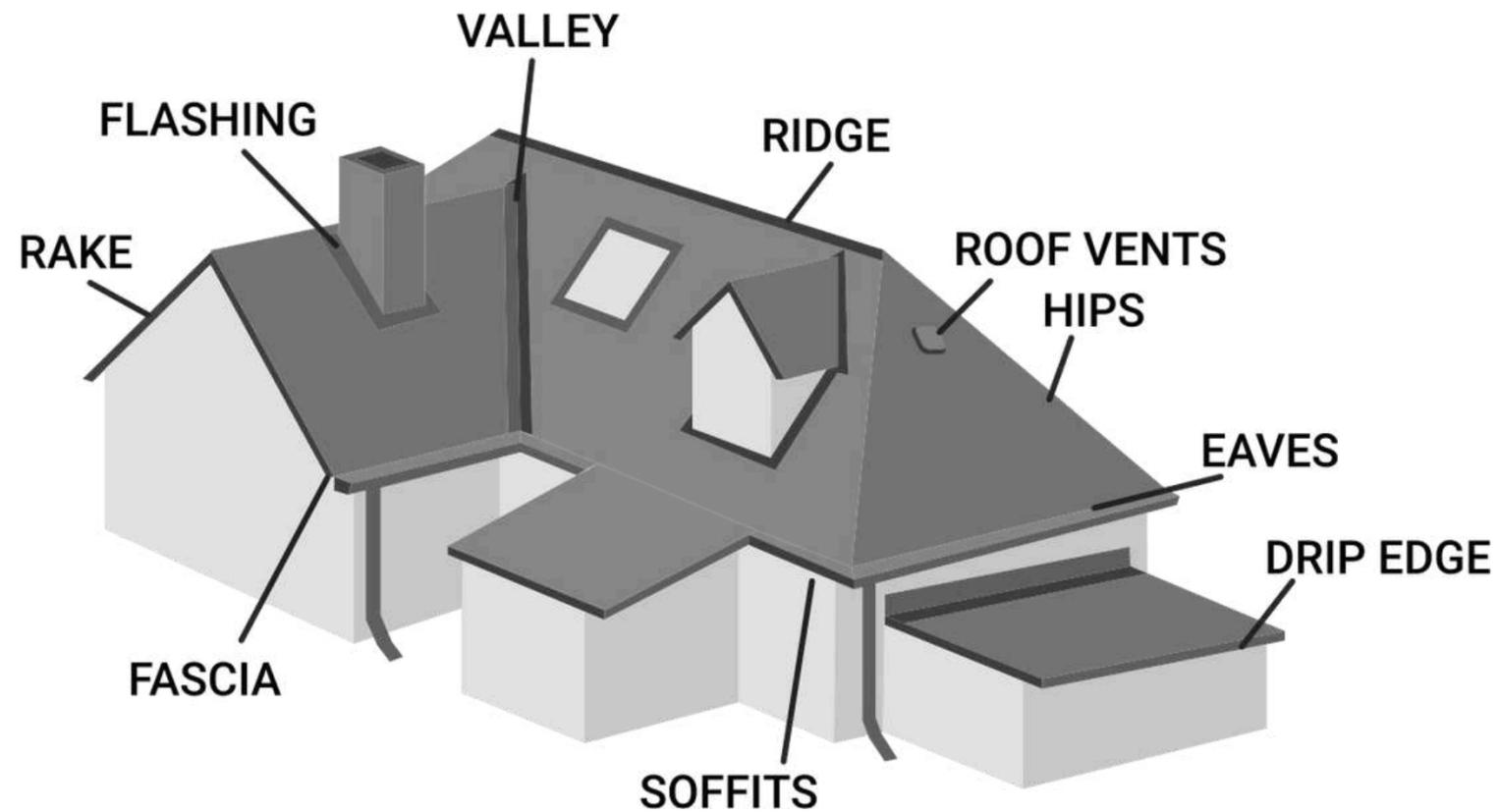
If your roof is not showing signs of degradation (old) but is still leaking, then repairs might be the best option. If you're unsure about a recent storm taking an effect on your roof system, call a local roofer.

Not all roofs that are leaking need to be replaced, however all roofs are different. And if you live in Tucson, Arizona; there's a 50% chance your roof is low-sloped. It's best to have a local low slope roofing contractor assess your roof.

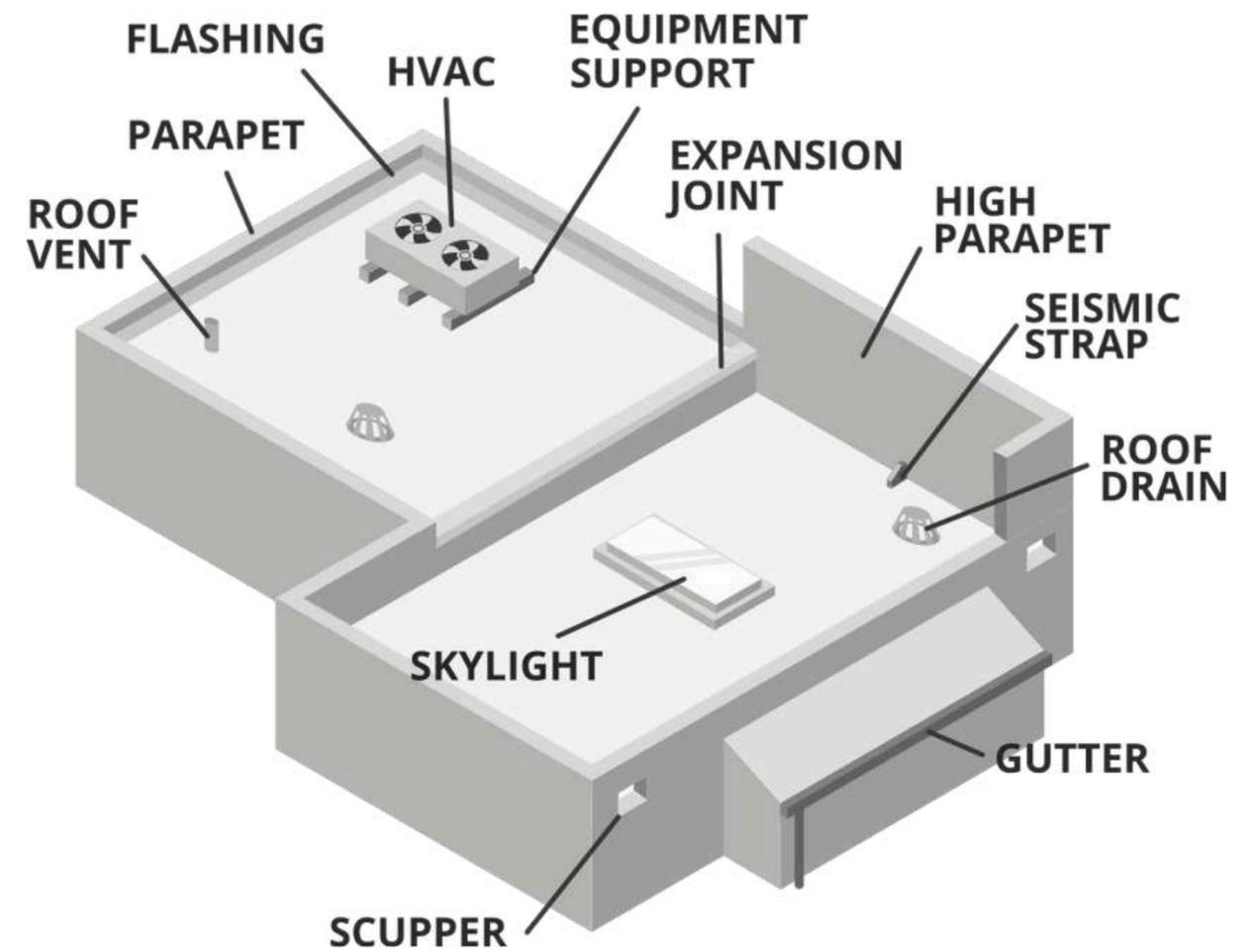
Southern Arizona is a tricky market to understand. Many people don't know this but Tucson has more flat roof structures than anywhere else in the world. The roof systems here are extremely diverse in that there are many different types and styles and roof systems.

Keep on reading to learn more about them all





Pitched Roof



Flat Roof

Roof Components Explained

Let's talk about the main components that come together to make up a **roof system**.

Keep in mind that all of these components impact the overall price of your roof replacement. If you want this to be the *last* roof you'll ever need it's important to invest in quality over the cheaper options for each of these components.

Roof Decking

This is the roof substrate (a.k.a. sheathing). This is normally OSB / CDX Plywood / Plank / “Tongue & Groove” Boarding. This is the **structural component** attached to your home or building trusses / beams / “studs”.

Ice & Water Barrier (Pitched Roofs)

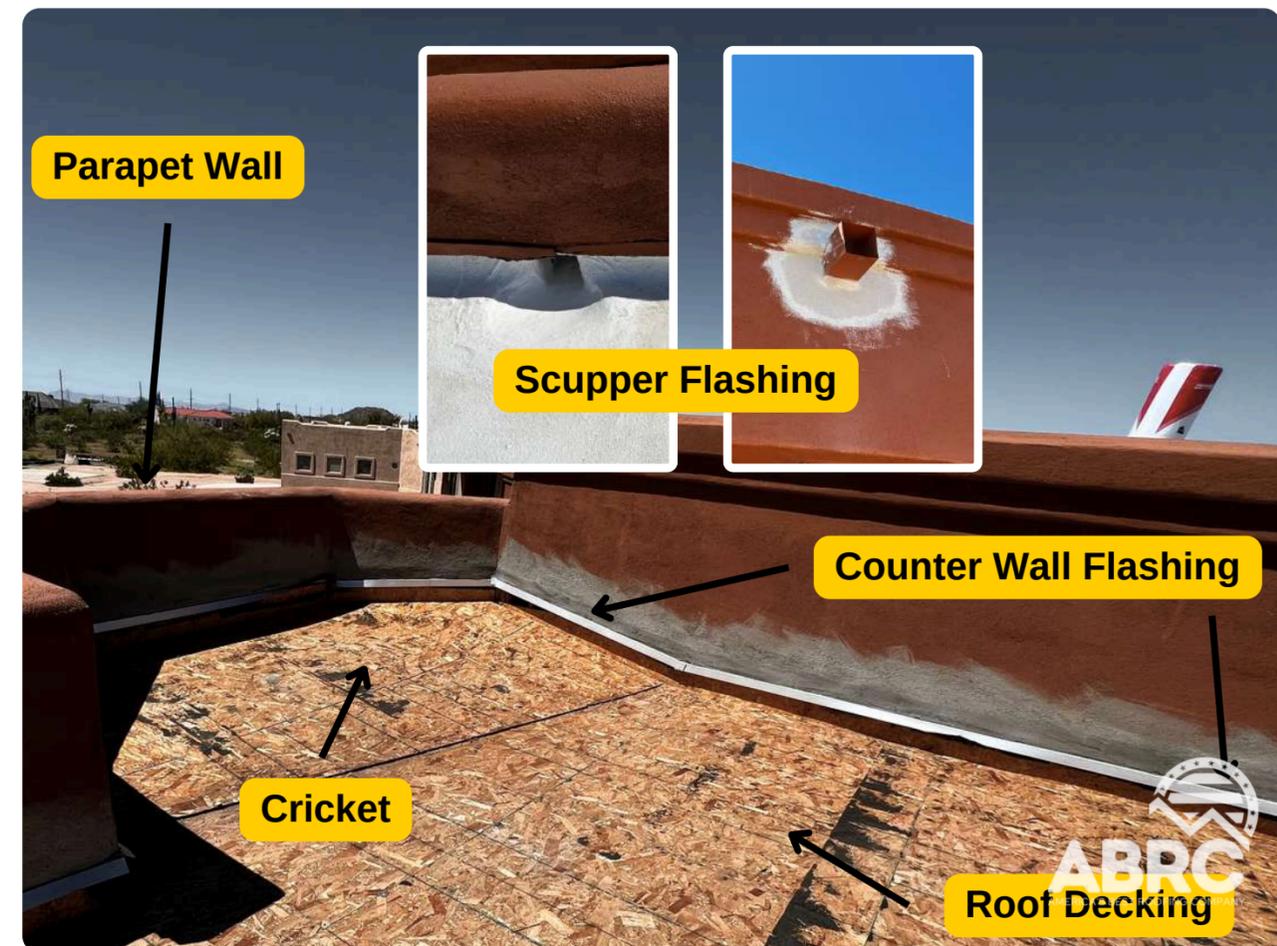
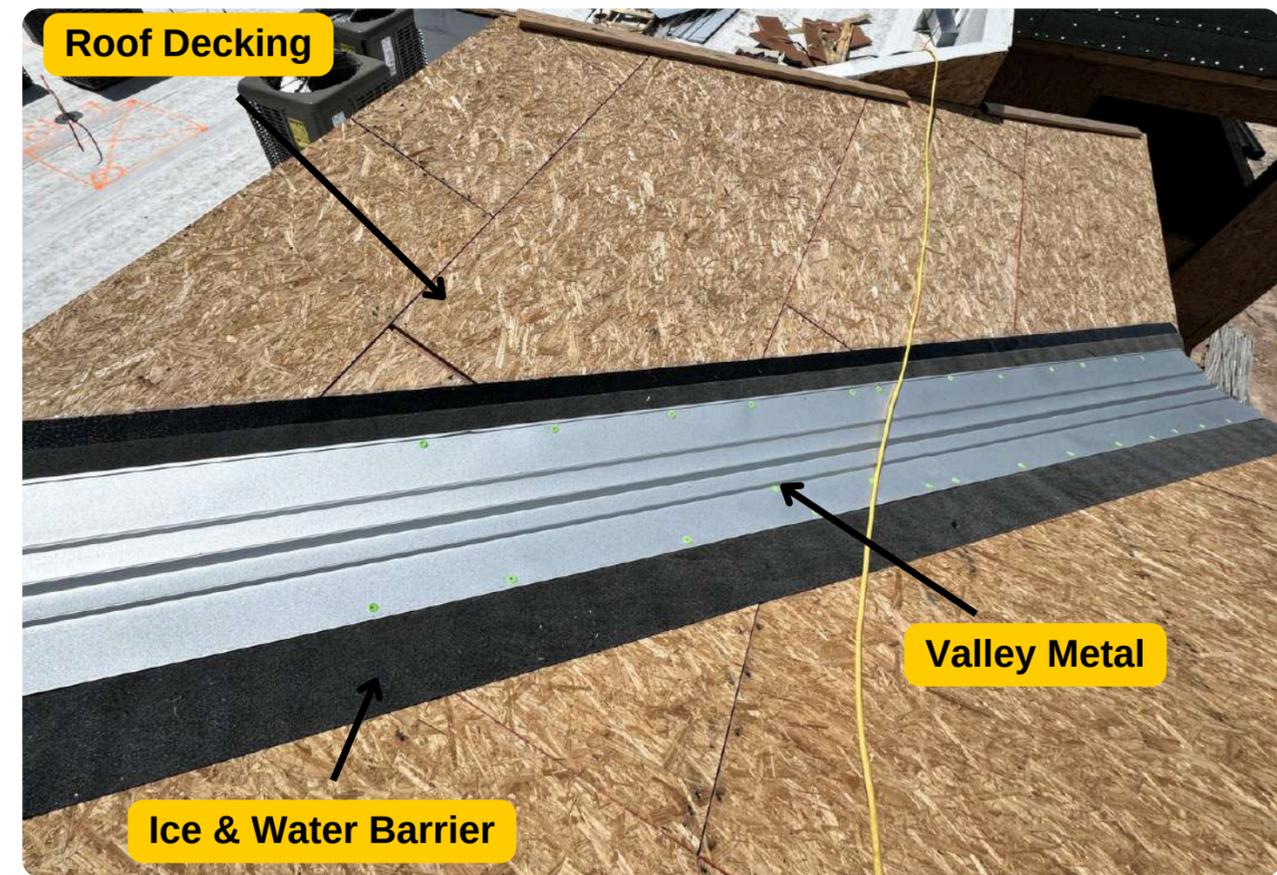
This barrier goes directly over **transitions & joints** on your pitched roof’s “Valleys” and other tricky areas. This protects certain areas from water damage and ice melt from the winters.

Roof Flashings

These metal components are designed to shield joints and other roof system components from water intrusion. Examples of roof flashings include: drip edge, valley metal, roof-to-wall, “L”/”Z” metals, step flashings, etc.

Cricket

This **structural component** diverts water away from walls and other vertical changes on your roof. For flat roofs w/ parapet walls, these are for diverting water into your scupper flashings.





Underlayment

Cricket

Roof Tiles



Roof Vents

Hip

13

Drip Edge

Fascia

Underlayment

This is the vapor barrier that goes directly above your decking / substrate to provide additional protection. This component is **vital** in keeping your **Tile Roof** system dry.

Ridge Capping

This is the trim piece of roof material installed where two slopes meet to form the “ridge”.

Roof Vents

These can come in wind turbine, “T” Vents, Gable Vent, etc. These allow your attic and home to breathe.

Pipe Boots

These terminate the round tubes that stick out of your roof. They come in rubber or metal or both and protect the vertical joint from water intrusion .

What does it cost to replace a roof system?



A rough estimate for the average cost to replace a roof on a 3 bedroom, middle class home will be around \$15,000 for (overlay) architectural asphalt shingle roof. This price will vary depending on the quality of the roofing materials and any potential improvements that are best made when replacing your roof.

Still, there are many more factors that go into estimating your roof replacement costs. In this section, you'll learn everything that is accounted for when calculating your home's roof replacement.

7 Cost Factors for Your Roof

There are 7 determining factors that go into calculating the overall cost of your roof replacement.

The overall size of your roof(s)

The type & quality of material selected

The complexity of your roof(s)

Level of workmanship warranty provided

Decking / Fascia repairs that need to be performed

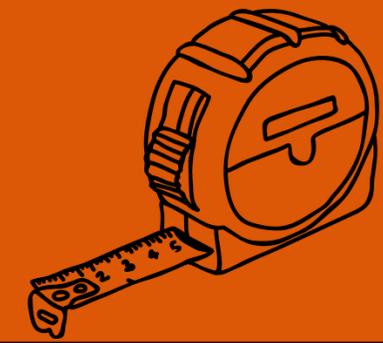
Waste / Delivery & transportation fees

Roofing company overhead costs

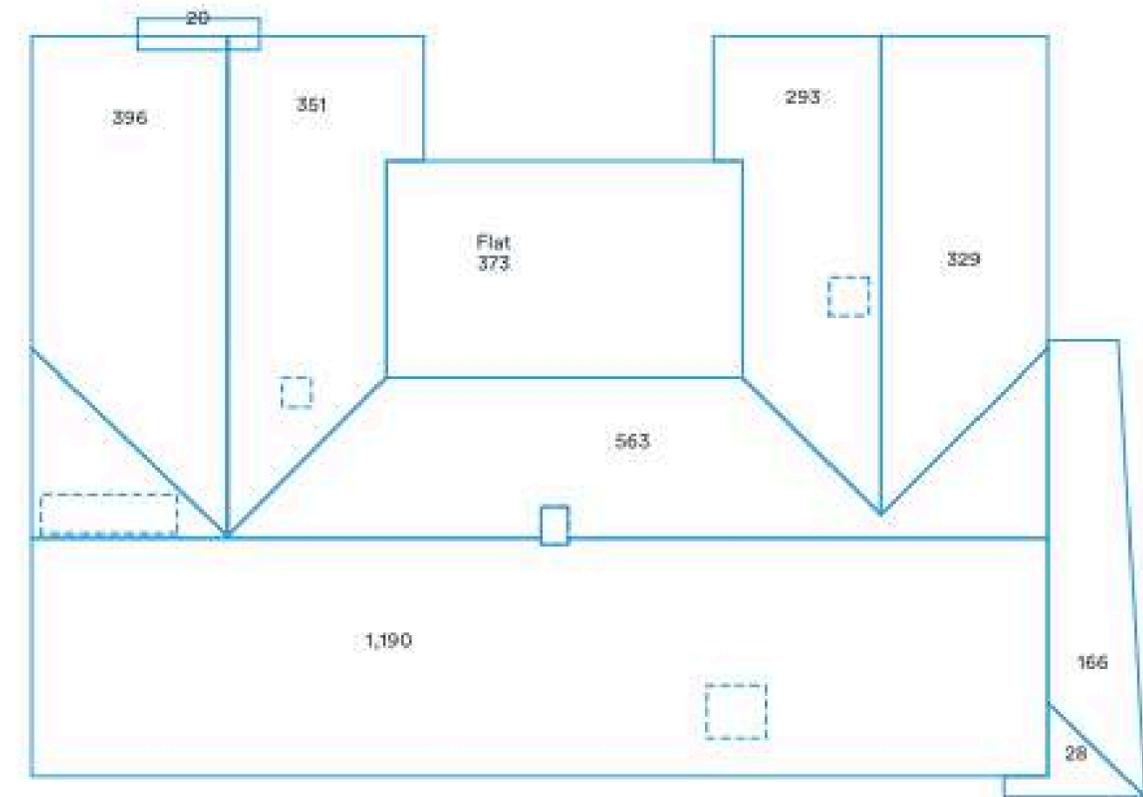
7 Cost Factors for Your Roof:

The Overall Size of Your Roof(s)

Like most home improvement projects, the more material you need, the more it's going to cost. But it's not just the square footage of the roof slopes, your home is unique and many other components must be measured.



1. Total square foot measurements of **Roofing Slopes**
2. Total linear feet of **Valleys / Transitions**
3. Total linear feet of **Hips / Ridges**
4. Total linear feet of all fascia board **eaves / rakes**
5. Total linear feet of **wall / vertical change flashings**



7 Cost Factors for Your Roof:

Type & Quality of Materials



Rule of thumb is, the higher the quality of material: the higher the costs. Today, homeowners now have numerous solutions to fit their aesthetic wants and budgetary needs.

Pitched Roofs

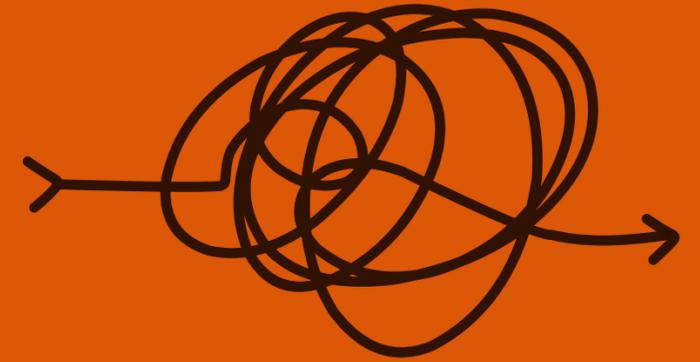
Architectural Shingles	Concrete Tile	Spanish Clay Tile	Standing Seam Metal	Natural Slate	Composite Slate / Shingle
\$4 - \$6 / SQFT	\$5 - \$12 / SQFT	\$10 - \$25+ / SQFT	\$10 - \$18 / SQFT	\$18 - \$30 / SQFT	\$12 - \$15 / SQFT

Low Slope / Flat Roofs

Spray Polyurethane Foam (SPF)	Built Up (BUR)	TPO	Roof Restoration
\$7 - \$12 / SQFT	\$6 - \$10 / SQFT	\$8 - \$15 / SQFT	\$1.50 - \$4 / SQFT

7 Cost Factors for Your Roof:

Complexity of Your Roof



Your roof was designed with characteristics and components that are unique to your home. If your home has a roof with many transitions and slope changes, this will affect the costs of your roof replacement or repairs.



A whole lot of time and skill is involved in properly waterproofing your beautiful roof. No two roofs are the same. Your home may have: excessively steep slopes, many valleys and slope transitions, many skylights and /or roof penetrations. All of these items are considered when estimating the costs of replacing your roof system.

7 Cost Factors for Your Roof:

Level of Workmanship Warranty

The contractor that you hire will determine level of peace of mind you'll have *after* your roof is replaced.

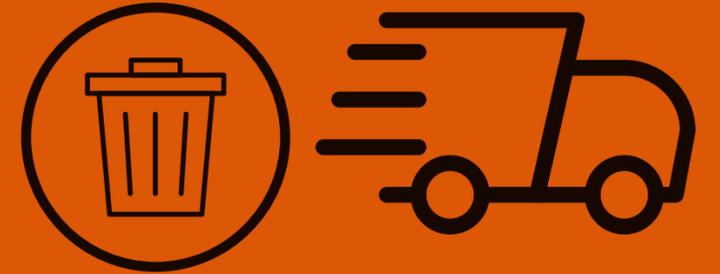
Your contractor should be offering *lifetime* system warranties. If they are not, then it is likely that they do not hold the credentials and certifications necessary to provide homeowners with extended warranties. The only exception to this are with Flat Roof systems that require routine maintenance for max life longevity. Roofing manufacturers supersede local building code, meaning what they say goes. It is important that you hire a manufacturer registered contractor because if the roof material producer trusts your contractor with their product and extended warranties, then it should help you decide on your hiring journey.



7 Cost Factors for Your Roof:

Waste / Deliveries

The contractor that you hire will determine level of peace of mind you'll have *after* your roof is replaced.



Before the new roof is installed, it is likely that your old roof needs to be demolished and hauled away to a landfill or a recycling facility that is equipped to handle the different types of materials used in your old roofs, like asphalt and petroleum.

Landfill costs are calculated by the type and weight of your home's old roofing materials. The process of tearing off and disposing of your old roof is one of the most labor intensive aspects of the project and the costs associated with this process will affect the bottom line.



7 Cost Factors for Your Roof:

Decking / Fascia Repairs

The contractor that you hire will determine level of peace of mind you'll have *after* your roof is replaced.

It is absolutely vital that your new roof system is installed / applied over a strong, **suitable** substrate. Every sheet of brittle / dry rot plywood / decking must be replaced prior to the new roof being installed. The new materials will not properly adhere/fasten and the manufacturer **will not** warrant their product if it was installed over bad decking.

Fascia boards are a little trickier because most of the time they can be restored using exterior acrylic paint products. If the board is dry-rot to the point that you can't nail in a new drip edge over the top of the fascia board, then it absolutely needs to go.



7 Cost Factors for Your Roof:

Decking / Fascia Repairs

The contractor that you hire will determine level of peace of mind you'll have *after* your roof is replaced.

Keep in mind, decking & fascia are mostly covered up by the existing roof system. This means you and your contractor won't know how much wood needs to be replaced until the old roof is completely torn off. Thus, be prepared to spend a little extra on unexpected decking/fascia board repairs.



7 Cost Factors for Your Roof:

Roofing Company Overhead

These are the (variable) costs that most roofing companies need to worry about in order to stay in business and successfully turn your project over.

Each roofing company is run differently, but these are some of the costs associated the business:

- General liability insurance
- Workers compensation insurance
- Vehicles (maintenance, fuel, and insurance)
- Office and material yard
- Employee payroll and taxes
- Employee training & continued education
- State / Local licensing & bonding
- Federal / State Taxes
- Marketing & Advertising



Top 3 Flat Roofing Systems in Southern Arizona

Flat Roofing Considerations:

When dealing with a low slope (less than a 2:12 pitch) or a flat section on your roof, your options for roofing materials become restricted. You will need to select between a metal roof or a membrane roofing system. Although metal is a viable choice, many homeowners typically prefer a membrane roof system. This section focuses on membrane roofing.

Built Up Roofing (BUR)

Built-Up Roof Systems consist of layering and several plies of roof membranes before topping it off with a reflective roof coating.

These layers work together to create a durable, weather-resistant barrier that can withstand almost any storm. The multiple plies add strength and resilience, while the reflective coating helps to reduce heat absorption, making your home more energy-efficient and comfortable. This type of roofing system is particularly popular Tucson, Arizona , where longevity and performance are critical.



Built Up Roofing (BUR)

Like most Flat roofs, Built Up Roofs also require annual maintenance and re-coat applications often. However, when properly maintained, you can get up to 40 years of lifespan out of your built up roof.

One important characteristic of built-up roofs is their reliance on asphaltic adhesions, which provide a strong bond between the layers. However, it's noteworthy that asphalt tends to be less flexible than some of the more modern roofing materials available today, such as single-ply membranes or metal roofing options. This lack of flexibility can make built-up roofs more susceptible to cracking or damage in areas with extreme temperature fluctuations or structural movement. Despite this, built-up roofs remain a popular choice for flat or low-sloped commercial roofs due to their proven performance in providing long-lasting protection.

\$\$\$

FLAT ROOF
COST COMPARISON SCALE

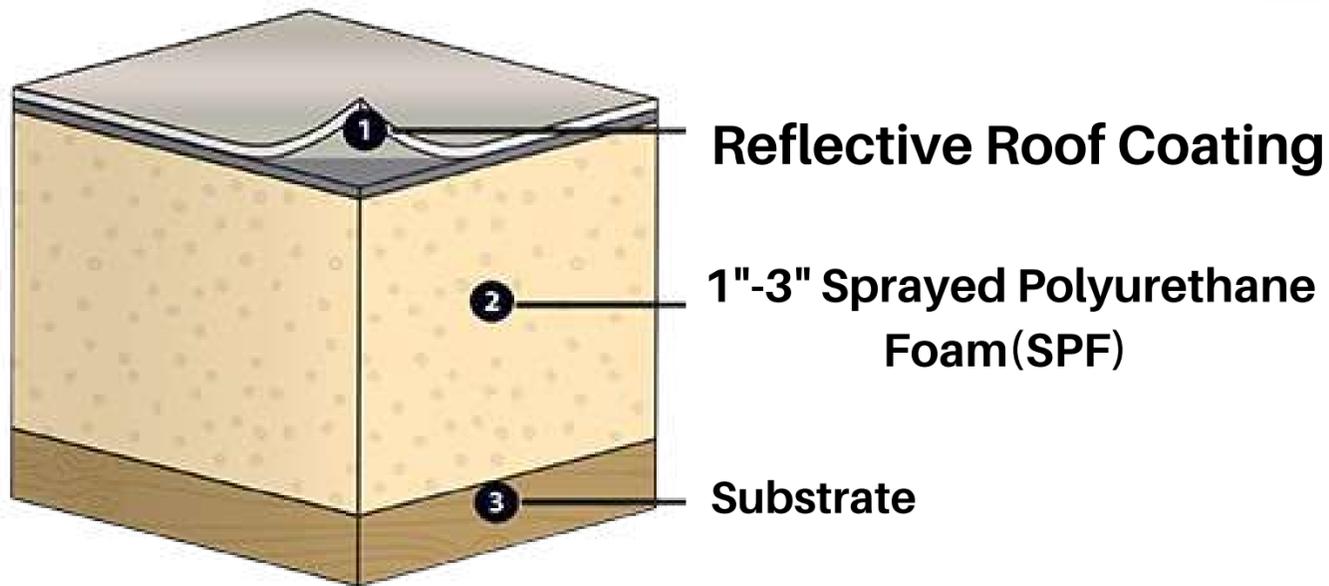
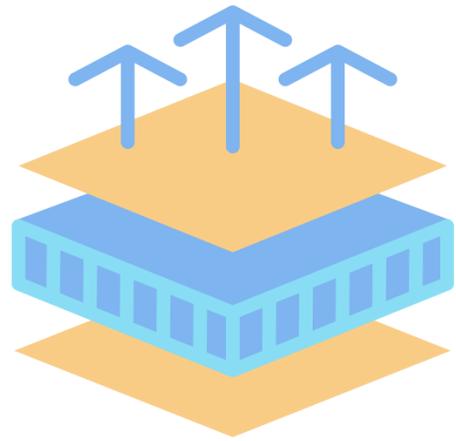




Spray Foam Roofing (SPF)

Spray Polyurethane Foam (SPF) is made up of two main chemical components: isocyanates and polyols. When these two substances are mixed and sprayed onto a surface, they react and expand rapidly to form a rigid, insulating foam. This foam adheres to surfaces, creating an airtight and moisture-resistant barrier. Spray foam roofing is an excellent way to both waterproof and insulate your home.





Spray Foam Roofing (SPF)

The insulation properties help maintain a consistent indoor temperature, reducing the strain on your heating and cooling systems and ultimately leading to lower utility bills. Moreover, the installation process is relatively quick and can be completed with minimal disruption to your daily life. With its numerous benefits, spray foam roofing is an investment that pays off in the long run, giving homeowners peace of mind and added value to their property. Consider this modern solution for a more efficient and resilient home.



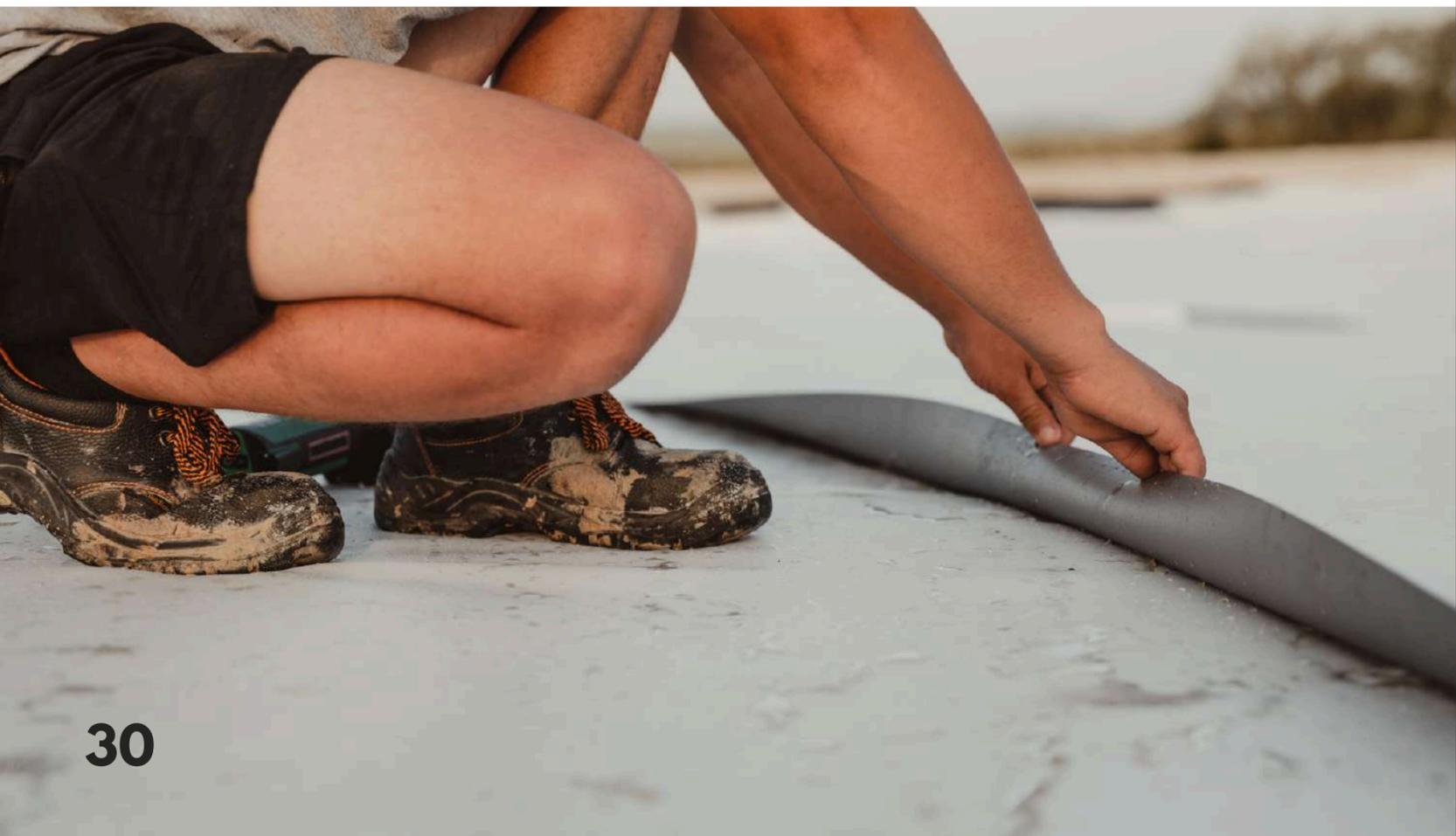
FLAT ROOF
COST COMPARISON SCALE

TPO Roofing (Thermoplastics)

TPO Roof systems are the most flexible membranes on the market and require **NO COATING** (for 25+ years). These thermoplastic roof systems are designed for grueling temperatures due to this roof's ability to expand and contract with your home and it'll never crack.

Their robust construction not only ensures exceptional durability but also contributes to energy efficiency by reflecting sunlight and reducing heat buildup. This reflective property can lead to significant savings on cooling costs, making TPO roofs an eco-friendly and cost-effective solution for homeowners and commercial properties alike.





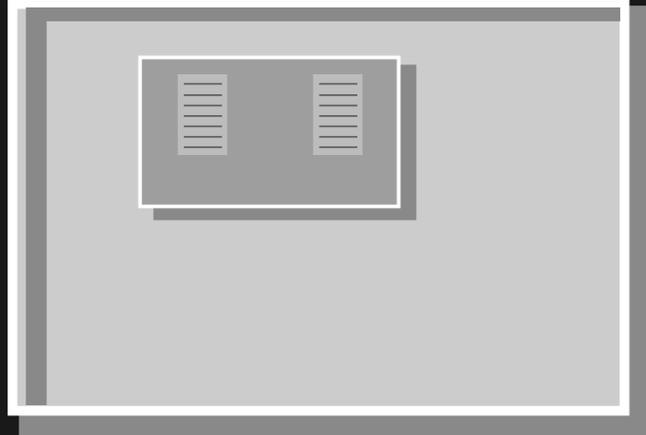
TPO Roofing (Thermoplastics)

Maintenance is minimal, but regular inspections can help ensure that the roof remains in optimal condition throughout its lifespan. With their combination of durability, energy efficiency, and low maintenance requirements, TPO roof systems are a wise investment that offers long-term benefits and peace of mind.

In most cases, an ABRC installed TPO Roof is a single ply roof system that goes over a layer of polyiso insulation which adds + 10-20 R Values (dependent on allowable thickness of insulation).

\$\$\$

FLAT ROOF
COST COMPARISON SCALE



FLAT ROOF SYSTEM COMPARISON

ROOF SYSTEMS IN TUCSON



	PRICE POINT	FIRST RECOAT	ADDED INSULATION	HAIL RESISTANCE	LIFESPAN
SPRAY FOAM ROOF (SPF)	\$\$	5+ YEARS	+R6 - R15	- (w/o granules) + (w/ granules)	20-25 YEARS
BUILT-UP ROOF (MOD-BIT)	\$\$	6+ YEARS	NONE	+++	25-30 YEARS
TPO ROOF	\$\$\$	20-25 YEARS	0 - +R10	++	30 YEARS

Pricing varies based on the complexity of the project.

Roof coating is what protects your roof system from UV Degredation & weatherization

When replacing your roof, you can add significant insulating R-Value to your entire home

When replacing your roof, you can add significant insulating R-Value to your entire home

Flat roofs require additional care and annual maintenance in order to guarantee watertightness. Costs vary depending on size of the project.

Top 3 Pitched Roof Systems in Tucson, AZ





Shingle Roofing

Shingle roof systems are a popular and reliable choice for many homeowners due to their durability, aesthetic appeal, and cost-effectiveness. These roofs are composed of individual overlapping elements, typically made of materials such as asphalt, wood, slate, or metal. Each type of shingle offers unique benefits; for instance, asphalt shingles are known for their affordability and ease of installation, while slate shingles provide a timeless, elegant look and exceptional longevity.

One of the significant advantages of shingle roofs is their versatility. They come in a wide range of styles, colors, and textures, allowing homeowners to customize the appearance of their homes to match their personal tastes and the architectural style of the building. Additionally, shingle roofs are designed to withstand various weather conditions, from heavy rain and snow to high winds and Tucson heat.

Shingle Roofing

Proper installation and maintenance are crucial to ensuring the longevity and performance of a shingle roof. Regular inspections, cleaning, and timely repairs can help you achieve the 30+ year lifespan some shingles offer. Overall, shingle roofs are a practical and attractive roofing option in Tucson because it's a cost effective, high performance roof system that can last a lifetime depending on the quality of the product you decide on.



PITCHED ROOF
COST COMPARISON SCALE



Most Common Shingles in Tucson Market



3-Tab Shingles
(Discontinued)



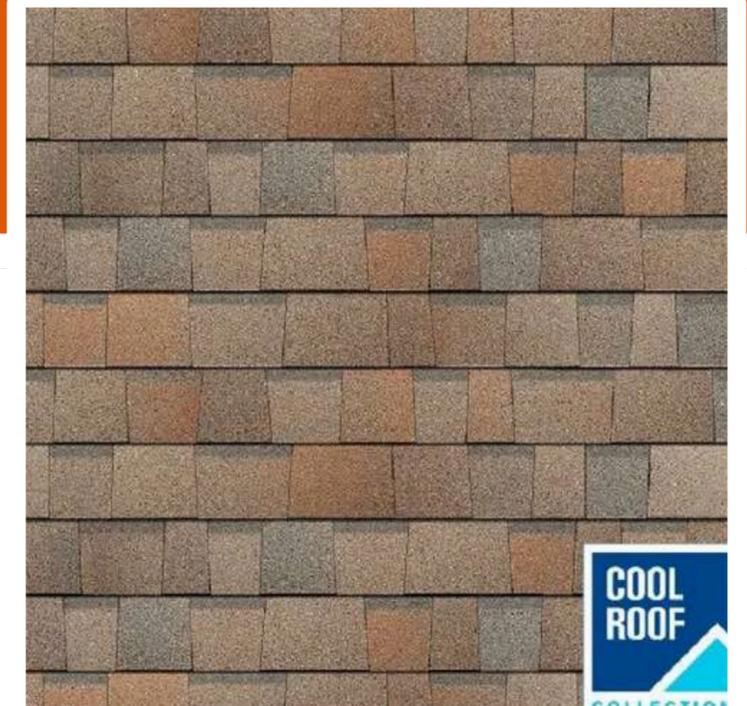
Architectural Shingles
\$

(Most Common)



40+ Year Premium Shingle
\$\$

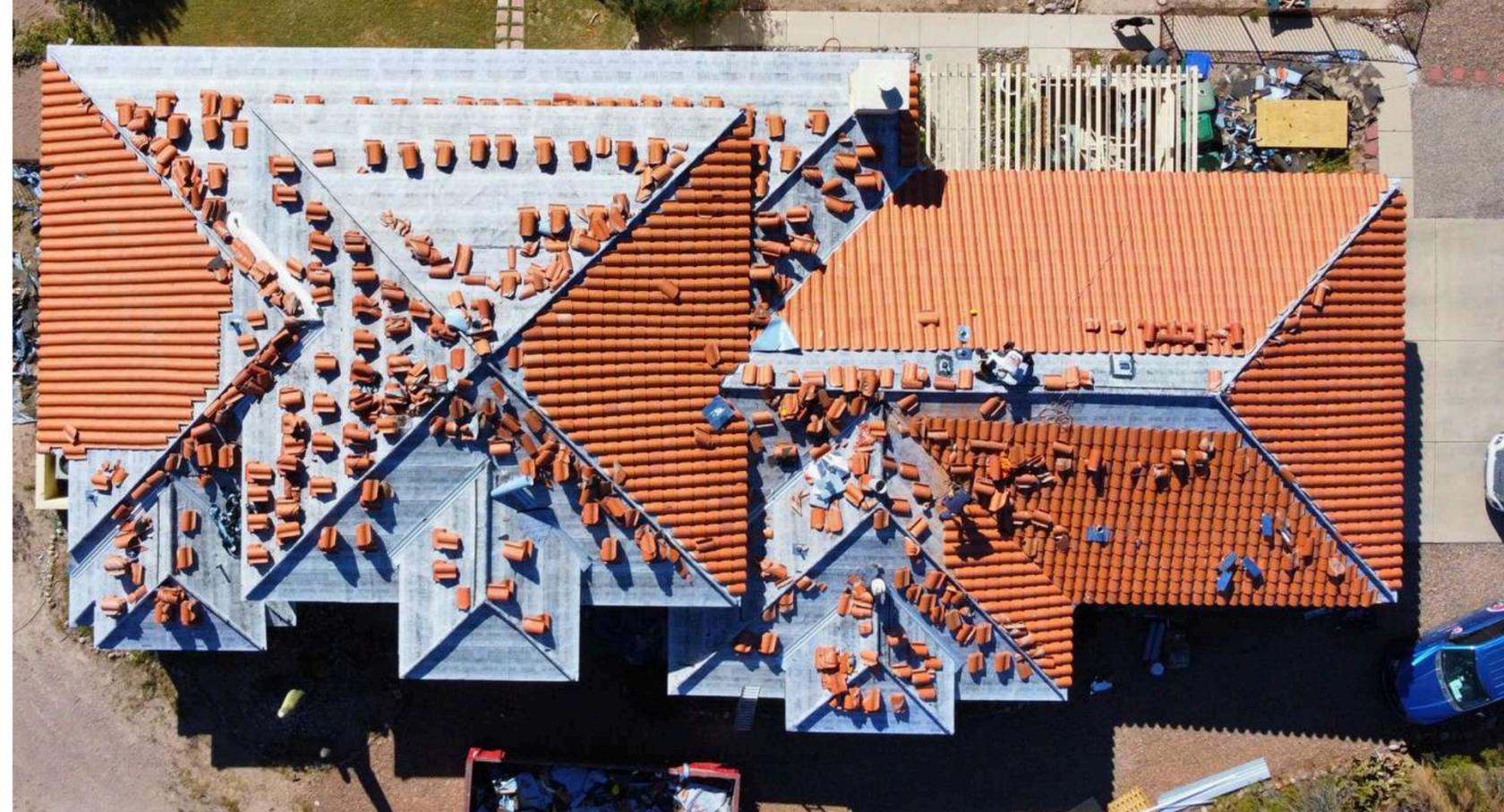
A FEW OTHER PREMIUM SHADES & UPGRADE OPTIONS ARE AVAILABLE



Premium COOL Shingles
\$\$\$

Tile Roofing

Tile roof systems make up about 40% of the roof systems in Tucson, AZ. Concrete and clay tiles are the most popular and common types in Arizona. Tile roof systems are typically elevated systems that lay / fasten over wooden battens. These battens are fastened over a roofing membrane referred to as **underlayment**. Roofing underlayment is the vapor barrier installed over the plywood decking. Unlike shingles, Concrete / Clay tiles are not the main waterproofing component on a tile roof system. The quality of the underlayment and transition flashings are critical when maintaining watertightness on tile roofs.



Tile Roofing

Tile roof systems are ideal for Tucson because of the energy efficiency materials like clay and concrete offer when compared to asphalt-based roofing products. Tiles offer superior durability and resistance to wind; but it is not uncommon for a bad monsoon storm to shift things around on your tile roof. Concrete and clay tiles have proven to last over 100 years! But just remember, the underlayment (vapor barrier) is the main waterproofing component on these gorgeous roof systems!



PITCHED ROOF
COST COMPARISON SCALE

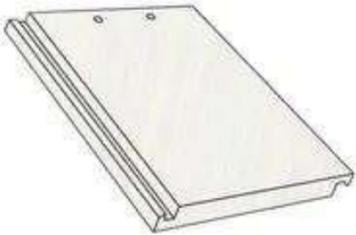


Types / Styles of Roof Tiles

Concrete



"S" TILE



FLAT TILE



VILLA TILE

Clay



2-PIECE
MISSION



2-PIECE
MONARCH



1-PIECE
"S" TILE

Most common tile brands:

- Eagle
- Boral
- Monier--discontinued (now Boral)
- Lifetile--discontinued (now Eagle)



Metal Roofing

Metal Roof systems provide an unrivaled combination of sleek aesthetic and ultimate performance. But, not all metal roofs are created equal. For instance, exposed fastener systems do not offer the same maintenance-free watertightness that a standing seam metal roof system offers. Though aesthetics matter, perhaps performance should be prioritized if you're in the market for a system that'll truly last a lifetime.

While initial costs for a metal roof may be higher than traditional roofing materials, the long-term benefits of durability, energy efficiency, and low maintenance can provide significant savings and peace of mind. Investing in a high-quality metal roof system is not just a choice for today, but may be a decision that will benefit you for decades to come



Standing Seam Metal Roofing

A series of metal panels connected at the seams or mechanically seamed with ribs (standing seams) typically spaced 12 to 24 inches apart. Unlike a screw-down panel roof, these metal panels can expand and contract without restriction. This flexibility is why it's the preferred choice for residential metal roofing.

Lifespan: 40-50+ years

Warranty: 30-year Kynar Finish paint warranty

Cost: \$12.00 to \$18.00 per square foot

When to buy: If you don't ever want to touch your roof again, or anyone else for that matter. A metal standing seam roof may be for you. This roof will likely last a few generations.

\$\$\$\$\$

PITCHED ROOF
COST COMPARISON SCALE

THE COLOR OF THE ROOF PHOTOGRAPHED IS: **MASNARD BROWN**





Standing Seam Metal Roofing

Unlike traditional roofing materials, these metal roofs are designed to withstand even the most intense monsoon storm weather. With a variety of colors and finishes available, homeowners can customize their roofs to perfectly complement their personal style and the aesthetic of their homes. Overall, it's no surprise that these roofs are becoming an increasingly popular choice among discerning homeowners.

Advantages:

- Long-lasting and durable.
- Kynar 500 painted finish with a variety of color options.
- Raises curb appeal with smooth, clean lines.
- Minimal maintenance.

Disadvantages:

- Produces noise during rainfall.
- Typically costs at least twice as much as an asphalt roof.
- Requires greater skill for installation and repair.
- Potential for oil canning.

Ribbed Metal Roof Panels (Exposed Fasteners)

Exposed fastener metal roofs are more affordable than Standing Seam Metal roofs. Because each panel is fastened down to the deck, there leaves no room for expansion & contraction. Meaning your panels will fight the fasteners throughout the seasons in Tucson.

Advantages:

- Tough & Durable.
- Good hail impact rating
- Variety of rib designs & color options

Disadvantages:

- Produces noise during rainfall.
- No Expansion & Contraction Capabilities
- Needs Maintenance (every single screw)
- Prone to leaks, eventually

Lifespan: 20-30 years

Warranty: 20-year Kynar Finish paint warranty

Cost: \$5 - \$9 per square foot

When to buy: If you really want the metal roof look, but don't have the budget for a standing seam metal roof, then maybe Ribbed Metal Panel Roofing is for you.

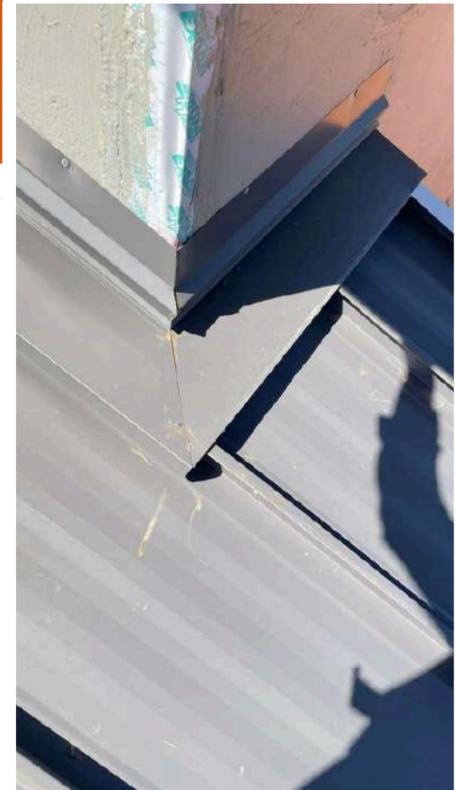
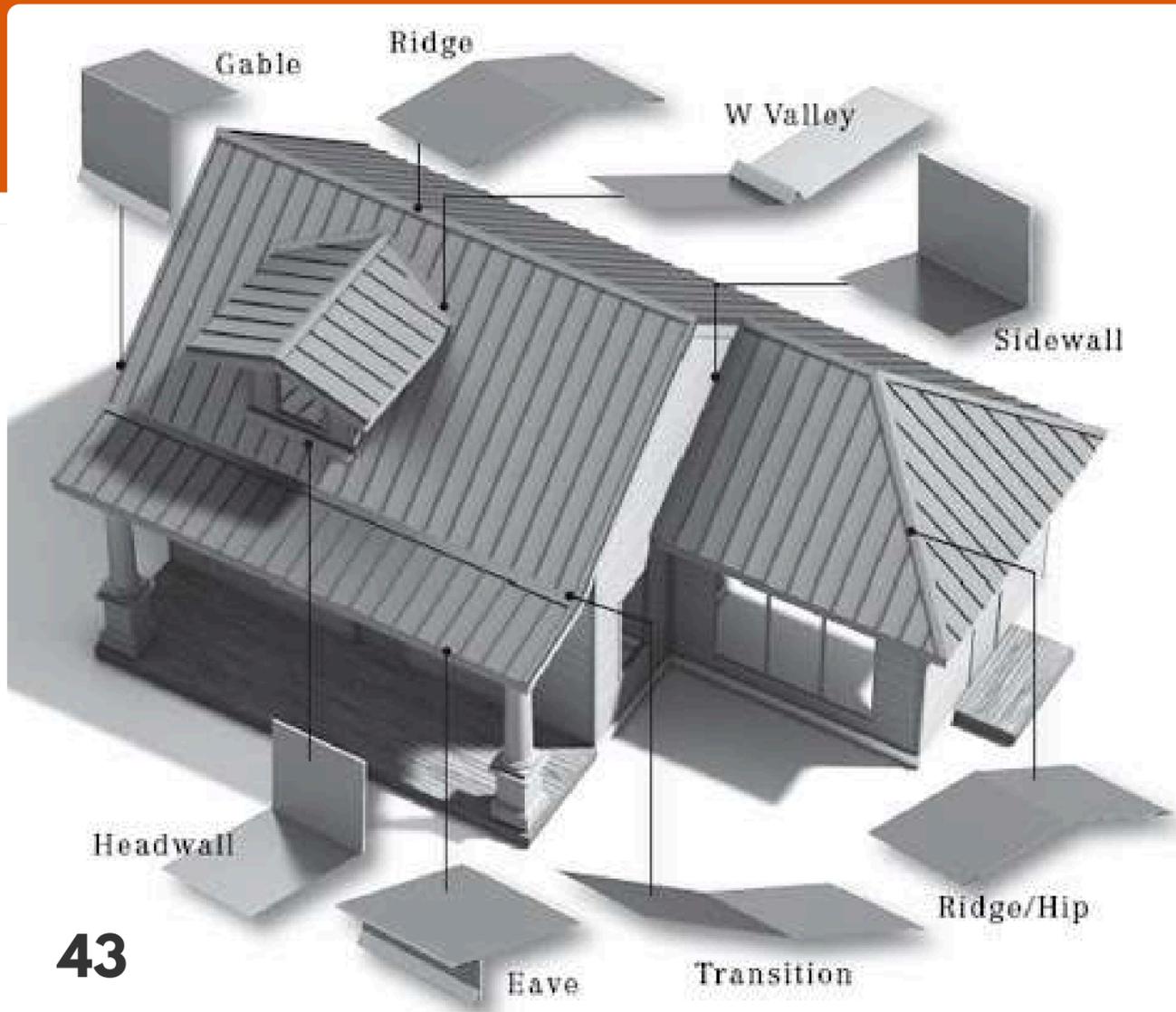


PITCHED ROOF
COST COMPARISON SCALE



TRANSITIONS / SLOPE CHANGES

Transition pieces are the most vital components to keeping your roofing system watertight. There is no margin for error when assembling the pieces around these tricky areas on your roof. We have the tools and the techs to waterproof anything, without sacrificing aesthetic value.





Ultra Premium Roof Systems

In terms of luxury beyond metal roofing, there exists: ultra premium roof systems. These roof systems are not typical and quite rare in the Tucson market. That is because these roofing materials are typically the priciest out there, but they will raise your home's curb appeal in ways that asphalt and metal won't. If you're in the Tucson area, looking for something premium and unique, these roof systems are worth exploring.

Composite (Synthetic Shingles)

Composite (aka synthetic) shingles are made up of synthetic and/or recycled materials, designed to *look just like a* Slate or Cedar Shake roofing system.



PITCHED ROOF
COST COMPARISON SCALE

Advantages:

- Proven 40+ Year Lifespan
- Addictive Curb Appeal
- Doesn't cost as much as Natural Slate / Cedar
- Long Material warranty
- Lightweight.
- High wind/hail rating ++
- Eco-friendly
- Less maintenance than natural slate / cedar

Disadvantages:

- Expensive
- Newer to the roofing industry.

Lifespan: 40-50 YEARS

Warranty: Limited lifetime, (depends on manufacturer)

Cost: \$12.50-\$15.00 per square foot.
Can reach north of \$20 per sq. ft. depending on the system.

When to Buy: If your home is apart of an HOA, you may not be able to upgrade your pitched roof into a composite shingle roof system. If budget isn't an issue and your roof has a pitch to showcase this material, then composite / synthetic shingles on your desert home are worth exploring.



Slate Roofing (Natural Stone)

An ultra premium roof system made up of natural slate stone materials.

\$\$\$\$

PITCHED ROOF
COST COMPARISON SCALE

Advantages:

- Will outlive you
- Dramatically increases curb appeal. It'll definitely make your neighbors jealous.

Disadvantages:

- Extremely expensive
- Slate roofing tiles are heavy
- Tiles are brittle & shouldn't be walked on
- Takes high level of skill to install / repair

Lifespan: 75 - 100+ YEARS

Warranty: No material warranty (natural material)

Cost: \$18.00-\$30.00+ per square foot



When To Buy: If you're into the aesthetics of the natural Slate Tile look in a roof system and are prepared to spend a pretty penny, then it is worth getting more info on Slate Roofs.

Cedar Shake Roofing

An ancient roofing technique, proven to last decades. This is an ultra premium roof system that is made up of actual, natural cedar wood materials.

\$\$\$\$

PITCHED ROOF
COST COMPARISON SCALE



Advantages:

- Dramatically raises your home's curb appeal and pops in the neighborhood
- Lasts longer than asphalt / laminate shingles.

Disadvantages:

- Costs about 3x more than asphalt/laminate shingles
- Takes high lvl of skill to install/repair
- Won't last as long if your area doesn't have the right climate
- No material warranty.

Lifespan: 30 years, up to 50 years depending on climate of your area

Warranty: No material warranty (natural material)

Cost: \$25.00-\$35.00+ per square foot

When To Buy: If you're into the aesthetics of Cedar / Shake roof systems and money isn't an issue, then maybe this system is for you. They take a long time to install, so be prepared for a lengthy build period.



PITCHED ROOF SYSTEM COMPARISON

COMMON ROOF SYSTEMS IN TUCSON



	PRICE POINT	UNDERLAY REPLACE	WIND RESISTANCE	HAIL RESISTANCE	LIFESPAN
SHINGLE ROOF (ARCHITECTURAL)	\$	W/ SYSTEM REPLACE	+	+	18-23 YEARS
COOL SHINGLE (PREMIUM +SRI SYSTEM)	\$\$	W/ SYSTEM REPLACE	++	+	22-28 YEARS
TILE ROOF (CONCRETE)	\$\$	EVERY 15-20 YEARS	+++	+++	50 + YEARS
TILE ROOF (CLAY)	\$\$\$	EVERY 15-20 YEARS	++	++	40 + YEARS
METAL ROOF (STANDING SEAM)	\$\$\$\$	NEVER	++++	++++	50 + YEARS



Upgrades that will add costs

If you are in the process of replacing your roof, now is the time to potentially *improve* the new roof system by adding a few optional components. Most of these components offer performance improvement, not just aesthetic. This section covers some of these available upgrades to add to your roof replacement at extra costs.



Upgrades that (would) add costs

Ultra Premium Underlayment

This is the ultimate line of defense when it comes to waterproofing your home. You have many options for roofing underlayments, depending on your goals and budget.

Roof Vents

Your existing vents will always be replaced, but there are likely better options available. You can add and improve of your home's ventilation system.

Skylights

Skylights help reduce your energy costs by allowing natural light to enter your home in lieu of a cable-wired light. If you've ever wanted one or more of them, its best to do them while you're replacing your roof.

Upgrades that (would) add costs

Metal Accents

This is becoming a popular upgrade for homes in the desert. You can improve your home's curb appeal by installing metal accent roofs on patios, bay windows, & specialty pop-outs.

Premium Flashings

Most homeowners stick with the most commonly used roof flashings in galvanized or pre-finished metal. **You can upgrade to copper or 24 GA pre-finished steel flashings.**

Gutter Guards

Monsoon storms blow debris & trees shed right into your gutters. Your gutters will collapse if you they are clogged and filled with debris and water. **You can add gutter guards to prevent constant gutter maintenance and clean up.**



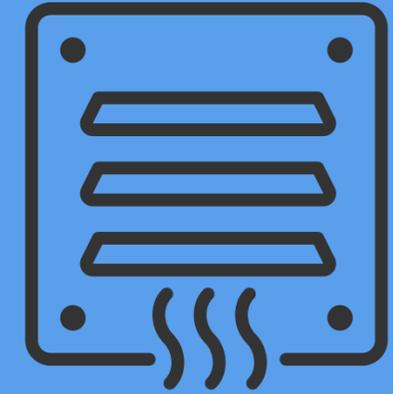


What is a Roof Ventilation System?

Warm air always rises. This happens almost everyday within your desert home. Arizona is home to blistering heat and this causes the air within your attic to become extremely hot. Your air conditioning inside the home will help to cool this hot air down. On the other hand, during winter months, the cool air trapped in your attic will be heated by the hot air from the inside of your home.

Types of Roof Ventilation

These are *some* of the different types of roof-mounted ventilation products available in the Arizona markets.



Ridge Vent

These vents are available for pitched roofs only and are mechanically fastened to the peak(s) of your roof system.



Off-Ridge Vent

These are static vents that are weaved into the roof system, typically on the downslope of a pitched roof.



Gable Vent

Gable vents are typically installed on the exterior walls of your home's attic/crawl space.



Mechanical Vent

Mechanical vents use natural wind as power to help remove excess moisture and heat from your attic / crawl space.



Powered Vent

Powered vents use your home's electricity / solar to power the fan system which provides added circulation to your crawl /attic space.

Roof Ventilation

These are the (variable) costs that most roofing companies need to worry about in order to stay in business and successfully turn your project over.

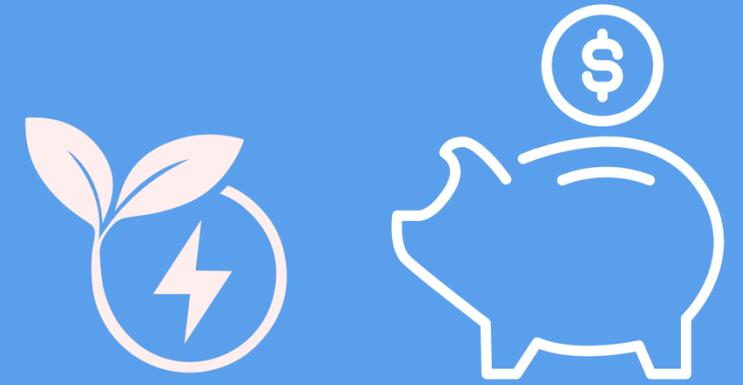
Ultimately, the goal of your ventilation system is to make sure your home isn't suffocating when it gets hot. Though you may not feel it, your entire home breathes. This is called "expansion & contraction". A roof-mounted ventilation system can drastically improve the lifespan of your new roof because of how well your home can *breathe*.

If your home is in the Tucson area, odds are you don't have a very good ventilation system. This is mainly because home builders in Tucson (pre 2012) were not accounting for much roof ventilation because most homes in Tucson don't have traditional attic spaces. You do not need an actual, walkable attic for you to improve on your home's ventilation system!



Roof Ventilation

The benefits of a good, roof mounted ventilation system.



Heating and Cooling

If your attic/crawl space isn't breathing properly, this hot air builds up and places a much heavier workload on your AC unit(s).

With proper ventilation, your crawl / attic space will have a more regulated temperature and so will your entire home.

Cost Efficiency

You may spend a little more upfront to install proper ventilation to your home; but it'll sure pay dividends in the long run. Electricity bills in the summer can get out of hand because of how hard your AC has to work to keep your home cool. Help your AC out and it will, no doubt, reward you with annual energy cost savings.

Roof Longevity

A true *lifetime* roof system is backed by an integrated roof ventilation system. This is an extremely vital component to your entire roof system if you're looking to achieve the maximum lifespan of your roofing materials.

Though manufacturers state materials will last "x" amount of years, one of the contingencies involves proper ventilation. Arizona's summers are extremely brutal. Without proper ventilation, your roof will simply cook from beneath and above the substrate. This will greatly accelerate the life expectancy of your (new) roof.

Breathe

Manufacturer Warranty



Warranties are all written differently, but roofing material manufacturers (like most producers) will warrant their product from defects. Manufacturer's warranty typically covers both the roofing materials and underlayment for 15-50 years. But that is normally only the case if the contractor you hire is certified/registered with the manufacturer. Still, registered contractors can offer different levels of manufacturer's warranty only when all components are made by the same manufacturer. We recommend that you read the manufacturer's fine print because they each have their clauses and exemptions.

Most of the time exemption or exclusion of coverage hails from the contractor's installation, not the product. The manufacturer will always lean towards declining / voiding your material warranty coverage if your contractor does not install the roof 100% per their specification. Roof maintenance is another vital aspect to maintaining all of your warranty coverages. Things like caulking and other sealants do not last very long in the Arizona desert. Make sure you understand who and what covers what before you choose the roof system and contractor.

Types of Roofing Warranties

Workmanship Warranty



A workmanship warranty can only be honored by the contractor you hired to perform the work. Depending on the contractor, this may not be transferrable to the next homeowner. This warranty is typically exclusive between the contractor and homeowner. This usually covers all defects in relation to workmanship. Workmanship warranties should cover any/all materials used during the install, waste, and all labor associated with providing warranty repairs for workmanship defects.

Arizona state law enforces that contractors shall warrant their work for an only the first 2 years after the install. Once you're past the 2 years, homeowners don't have much grounds to legally pursue an absent contractor. **It matters WHO you hire.** Let's put it this way... If you're not entirely confident that your contractor will do the job right the first time. They likely won't do the job right the first time. And, remember, if the job isn't done right: then you might not have a manufacturer's warranty either.

What's a Lifetime Roof Warranty?

Lifetime refers to the projected lifespan of the materials. For instance, most laminate shingles come with a lifetime warranty (typically referring to 30-50 years). You should know that most come with a contingency that has a specified non-prorated period that typically only lasts 8-12 years. After that, you'll lose a portion of your coverage, that's determined by the age of the shingles. (This is another reason you need to carefully read the warranty in its entirety.)

What's a No Dollar Limit Warranty? (NDL)

This is the ultimate umbrella of roof warranty coverages. NDL warranties will typically cover both materials and labor, assuming full responsibility and paying for 100% of all costs associated with repairing / replacing your roof system with no dollar limits. This warranty is the most comprehensive (but expensive) type of coverage you can purchase when paired with the right roofing system. **This is only possible if the installing contractor is a master / certified installer with the product's manufacturer.**

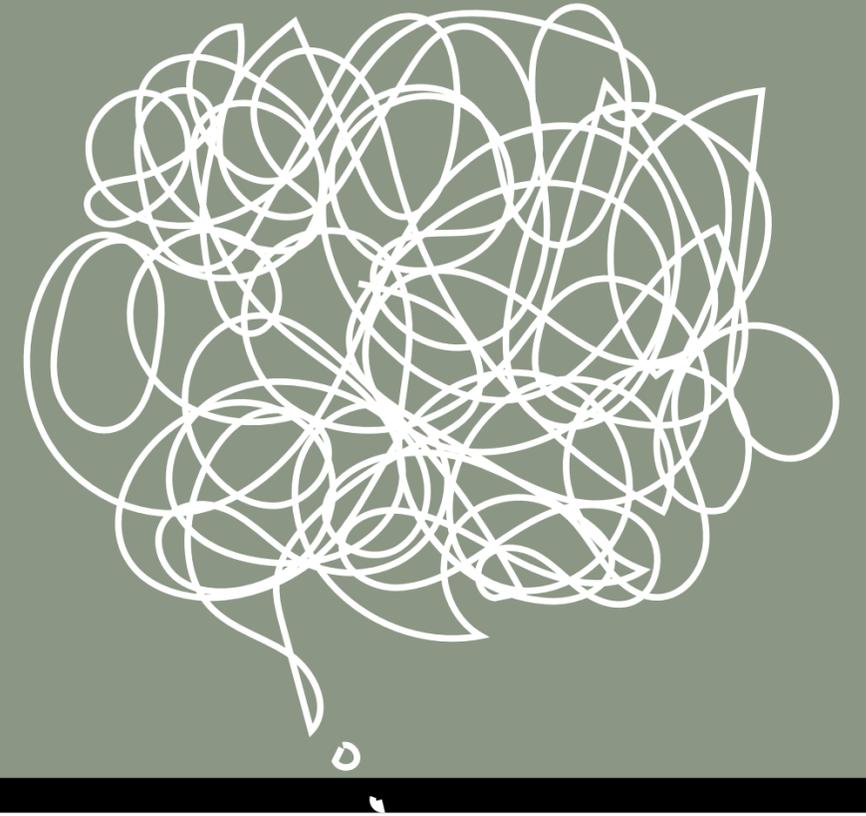
What's Never Covered by a Roof Warranty?

Just as any type of insurance coverage has limitations and exclusions, so do most roof warranties. Here are several things that aren't covered under any type of warranty.



- Potential harm to the integrity of your home or its belongings
- Natural disasters, including earthquakes
- Tornadoes, wind/hail, and storm-related damages
- Damage caused by fire
- Repairs conducted without authorization
- Damage from standing water
- Lack of care / maintenance
- Inadequate attic ventilation
- Incorrectly installed solar panels and/or other roof-mounted accessories

Feeling Anxious About Shelling Out for Your New Roof?



The biggest headache for most homeowners? The price tag of a shiny new roof! Sure, some can whip out their wallets and pay in one go, but for the rest of us, that's like wishing on a star! If that sounds like you, don't fret—there are tricks up your sleeve to help you snag that roof or keep things cozy while your cash flow gets a glow-up. Let's dive into a treasure chest of options for those fretting over their roof replacement funds!



Financing with a Roofing Company or Their BFFs!

(Best Financial Friends)

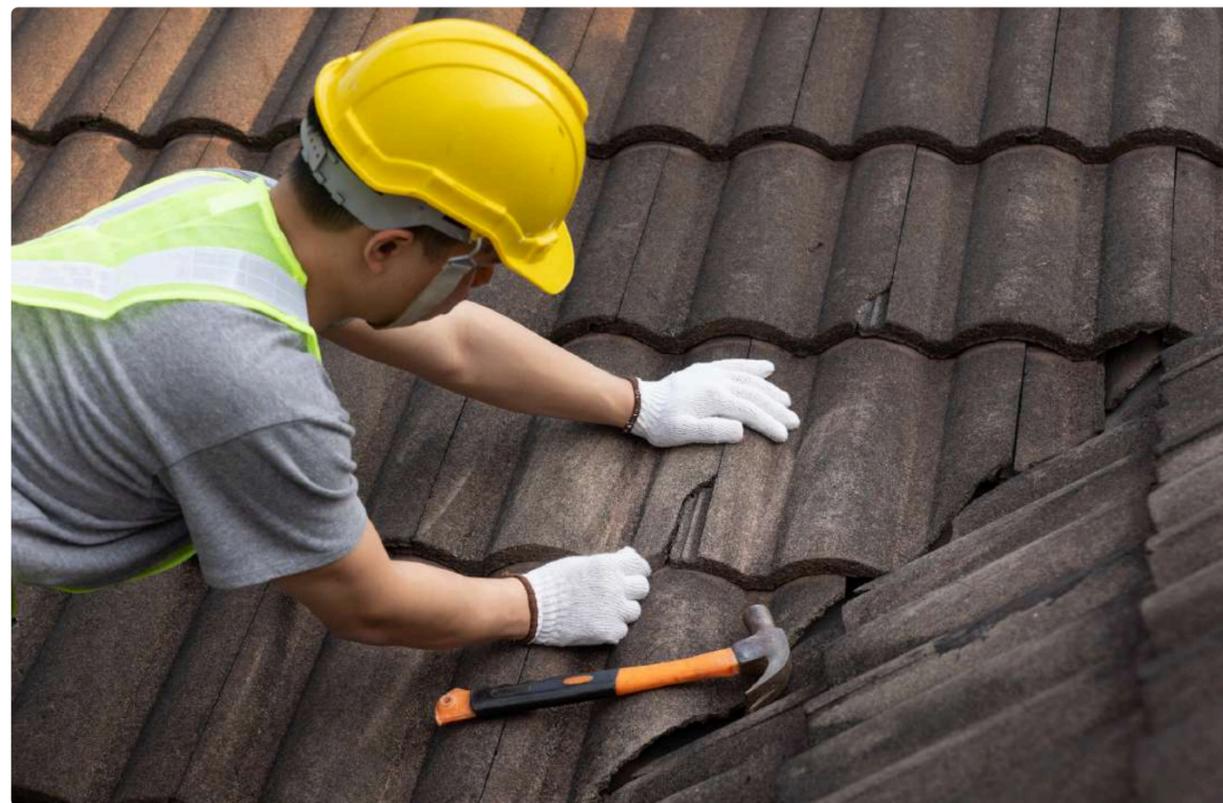
Most roofing companies provide financing options for roof replacements. This can be facilitated either directly through your roofing contractor or via their collaboration with a financing firm. However, **it's important to note that your roofing contractor does not participate in the approval process.**

Much like acquiring a new chariot, securing financing for your new roof is a seamless endeavor. The path to roof replacement financing is, in truth, quite straightforward.



Roof Rescue: Options Beyond Replacement

If financing isn't your jam, fear not! There are wallet-friendly alternatives to a full roof makeover. Sure, they might save you some dough, but it's like putting a Band-Aid on a leaky dam—you're just kicking the can down the road or trading quality for savings. In this part, we'll dive into the nifty options that can give your roof a little TLC without the huge price tag!





Options Beyond Replacement

Roof Repairs

If your roof's throwing a leak party, it's time to face the music: you've got to get a new roof, no ifs, ands, or buts! But don't fret just yet—if your old roof is just dripping a little, you can patch things up and buy yourself some time to save up for that shiny new cover.

Options Beyond Replacement

Roof-Over Installation

To cut costs, some homeowners can choose a nail-over instead of completely removing their old roof and installing a new one. This process involves placing (nailing) a new asphalt roof directly over the existing asphalt roof, but it is only permissible in certain circumstances. Remember, most states permit a maximum of two layers of shingles on a roof for fire safety considerations.



Non - Local companies that specialize in storm chasing

Following a major storm, storm chasing companies deploy skilled salespeople who go door-to-door, often using fear-based tactics and offering lower prices than local roofing businesses. After securing payment, these salespeople typically provide subpar work, move on to the next affected town, and you may never hear from them again. It's crucial to ensure that your roofing contractor is a local professional.

Providing a Brief Workmanship Warranty

If a contractor opts for shortcuts or utilizes lower-quality materials, they may provide a warranty that lapses right before the flaws in their workmanship or inexpensive materials become apparent. Always choose a roofing contractor who guarantees a minimum of a 10-year warranty.

THE FOUR RED FLAGS WHEN SEARCHING FOR A ROOFING CONTRACTOR

Unwilling to Discuss Your Roof Estimate With You

The key aspect of obtaining your roof replacement estimate is discussing it in detail with your contractor. Every roofing contractor should be willing to sit down and review each line item with you, ensuring you understand precisely what you're paying for. If they refuse to do this, that's a significant red flag.

Dramatically Lowering Prices to Win Your Business

Certain roofing contractors may employ hidden fees or omit details to lower their prices and secure your business. They might conceal costs such as dump fees, additional labor expenses, the replacement of rotten decking, the exclusion of drip edges, or the use of 3-tab shingles for ridge capping, among other tactics.

How do I find a great roofing contractor?

The key choice you'll face during the entire replacement process is selecting the right roofing contractor. To ensure you make an informed hiring decision, it's essential to know how to identify a great roofing contractor among the many available in your area. Let's discuss: finding a trustworthy roofing contractor.



Finding a Great Contractor

Look at Reviews

After researching roofing companies in your locality, the most effective method to select a contractor is by examining reviews from the past 2 to 3 months. If a roofing company is confident in its work, engages positively with clients, and operates ethically, this will likely be reflected in their reviews.

Recommendations from Friends and Neighbors

Another effective method for locating a roofing contractor is to consult your friends and neighbors who have recently had work done. Inquire about their experiences, whether positive or negative. Recommendations from people you know and trust carry significant value, as they provide insights based on personal relationships.





Finding a Great Contractor

Asking the Right Questions

Keep your eyes peeled for those red flags we just chatted about when sizing up potential roofing contractors—it's a crucial part of the hiring adventure! But the real secret sauce to spotting a top-notch contractor? Just fire off the right questions and watch the truth unfold!

Once you've identified a few potential roofing contractors, it's essential to ask the right questions during your meetings. This process will help you select a trustworthy contractor who will complete the job correctly. Be sure to download this Checklist of 16 Questions to Ask a Roofing Contractor, so you are ready to make an informed hiring decision.

The roofing contractor you choose plays a crucial role in influencing every aspect of your roofing project.

Empowering Homeowners.

Having gone through this guide, you're now equipped to make a wise investment in your new roof. You've become one of the most knowledgeable homeowners in town! If you're located in Tucson, Green Valley, Marana, Vail, Oro Valley, or the surrounding areas, we would be thrilled to help you with your roofing needs. Discover the steps involved in getting a free consultation and estimates from the ABRC team.

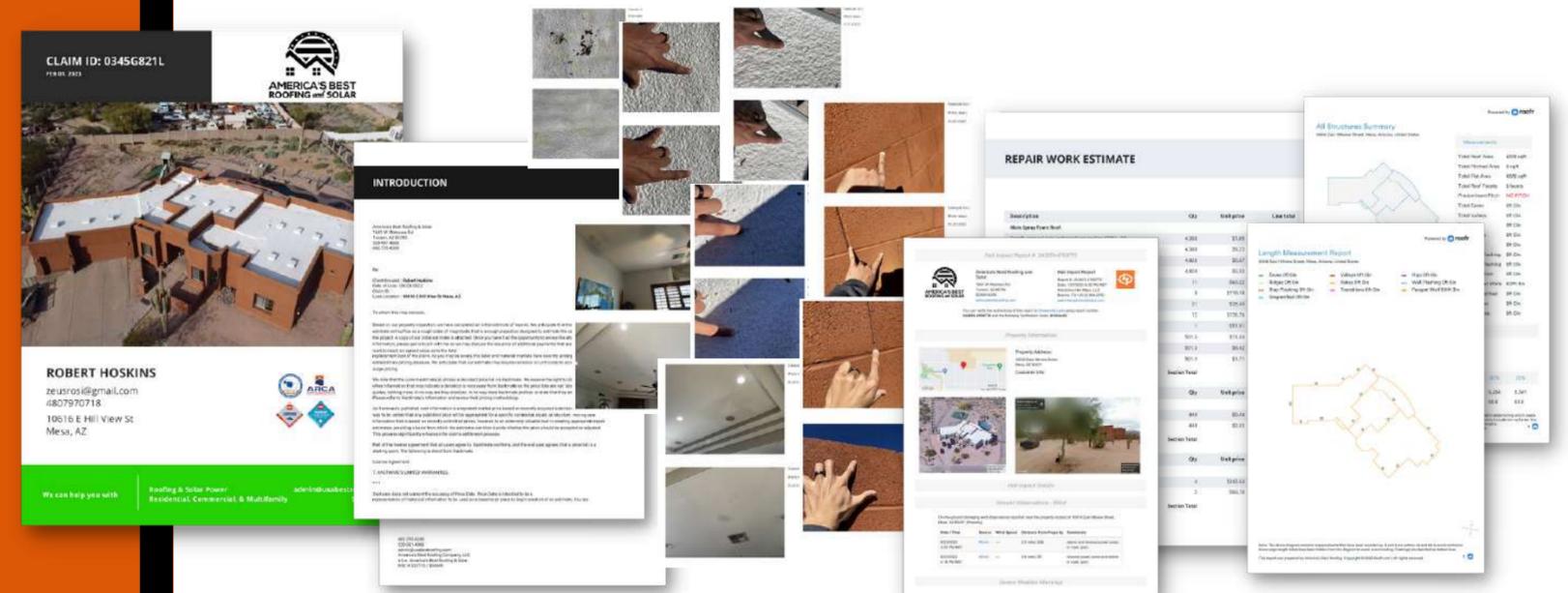


4 Steps to 3 Quotes from ABRC

If you request a consultation from the team at ABRC, you'll get not one, but three different estimates. Homeowners should know that there are many different options and you should know: what they are, what they cost, and how they will benefit you in the long run. Each option comes with its own set of advantages and potential drawbacks, which the team will thoroughly explain to ensure you make an informed decision.

An ABRC Roof Consultation Includes:

- Detailed inspection findings
- Inspection photos
- Detailed measurement report
- Potential improvement options
- Financing information / pre-approval
- Detailed roof material literature
- 3 Different quotes (for replacement)



4 Steps to 3 Quotes from ABRC



Once you reach out to us by phone or complete the form on our website, we'll gather all the necessary information. Let's connect and get you scheduled for a visit with a trained roofing professional.



We'd love to meet you at your home, we'll rack a ladder and pilot a drone so that we can prepare a detailed assessment for you that includes at least 3 different roof replacement options.



We can help you align financing and tailor payments that fit your budget with our trusted network of financial partners. If you don't need financing, then we can skip this step.



Let your roof replacement be our problem and project to manage. You've got a lot going on right now, let our trusted roofing teams handle the installation process. You're going to love your new roof.

Thank you for reading!

Questions?

Call us: **520-981-4008**

Visit Us: **usabestroofing.com**

Email Us: **admin@usabestroofing.com**

